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**Rutland County Council**

Catmose,  
Oakham,  
Rutland  
LE15 6HP

Application:	<b>2022/0646/FUL</b>	<b>ITEM 1</b>	
Proposal:	<b>Demolition of existing agricultural barn and erect 2 no. 3 storey dwellings, relocation of entrance doors to barn No 2 to the rear, extension of existing farm track, creation of new parking and turning area to the rear of barn 2.</b>		
Address:	<b>Fairchild Lodge, Lyddington Road, Caldecott, Rutland</b>		
Applicant:	<b>Mrs Louise Brown</b>	Parish	<b>Caldecott</b>
Agent:	<b>Mr Tony Ansell</b>	Ward	<b>Lyddington</b>
Reason for presenting to Committee:	<b>Member application</b>		
Date of Committee:	<b>14 February 2023</b>		
Determination Date:	<b>21 July 2022</b>		
Agreed Extension of Time Date:	<b>17 February 2023</b>		

## EXECUTIVE SUMMARY

The principle of residential development here has been established through the granting of a Class Q Prior Approval at Appeal. And planning permission granted under reference No 2021/0672/FUL erection of 3 no. two-storey dwellings together with associated car parking and landscaping. (Subject to a legal agreement). The proposal would offer a smaller scheme than the current approval, would not be contrary to local and national planning policies or have a detrimental impact upon the surrounding area.

## RECOMMENDATION

### APPROVAL,

1. The development shall be begun before the expiration of three years from the date of this permission.  
Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990, as amended by the Planning and Compulsory Purchase Act 2004.
2. The development hereby permitted shall not be carried out except in complete accordance with the details shown on the submitted plans, numbers; Location Plan Received 30 January 2022, Site Plan Received 8 November 2022, AB/01B/PL/2022, AB/02B/PC 2022 and LB/11/PL/2022.  
Reason: For the avoidance of doubt and in the interests of proper planning.
3. No development above ground level shall be commenced until precise details of the manufacturer and types and colours of the external facing and roofing materials to be used in construction have been submitted to and agreed, in writing, by the Local Planning Authority. Such materials as may be agreed shall be those used in the development.  
Reason: To ensure that the materials are compatible with the surroundings in the interests of visual amenity and because no details have been submitted with the application.
4. Notwithstanding the provisions of Article 3, Schedule 2, Part 1 Classes A-E of the Town and Country Planning (General Permitted Development) (England)

Order 2015 (or any Order revoking and re-enacting that Order with or without modification), no enlargement, improvement or other alteration to the dwellings, and no provision of buildings, enclosures, swimming or other pool, shall be erected or carried out except with prior planning permission.

Reason: In the interests of the character and appearance of the open countryside and surrounding residential amenity.

5. No development above ground level shall be commenced until there has been submitted to and approved, in writing, by the Local Planning Authority a scheme of hard and soft landscaping works for the site, which shall include any proposed changes in ground levels and also accurately identify spread, girth and species of all existing trees, shrubs and hedgerows on the site and indicate any to be retained, together with measures for their protection which shall comply with the recommendations set out in the British Standards Institute publication "BS 5837: 2012 Trees in Relation to Construction."  
Reason: To ensure that the landscaping is designed in a manner appropriate to the locality and to enhance the appearance of the development.
6. All changes in ground levels, hard landscaping, planting, seeding or turfing shown on the approved landscaping details shall be carried out during the first planting and seeding season (October - March inclusive) following the commencement of the development or in such other phased arrangement as may be agreed in writing by the Local Planning Authority. Any trees or shrubs which, within a period of 5 years of being planted die are removed or seriously damaged or seriously diseased shall be replaced in the next planting season with others of similar size and species.  
Reason: To ensure that the landscaping is carried out at the appropriate time and is properly maintained.
7. Any gates provided at the vehicular access shall be inward opening only and shall be set back a minimum of 6 metres from the nearside edge of the carriageway.  
Reason: To enable vehicles using the access to stand clear of the carriageway whilst gates are being opened and closed in the interest of highway safety.
8. Notwithstanding details shown on Site Plan Received 8 November 2022, no access gate shall be inserted into the replacement boundary hedgerow.  
Reason: For the avoidance of doubt and to ensure no residential encroachment into the adjacent agricultural land.
9. There shall be no external lighting on the site, any external lighting required, either temporary lighting during building work, or permanent lighting post development, must be in line with the BCT lighting guidelines (Bats and Lighting in the UK (Bat Conservation Trust, 2018) (<https://www.theilp.org.uk/documents/guidance-note-8-bats-and-artificial-lighting/>)). Full details of any proposed external lightning shall be submitted to and approved in writing by the Local Planning Authority prior to the installation of any external lighting. To reduce the impact of lighting on bats, lighting should consist of LED light sources fitted with downward deflectors (i.e. hoods, cowls, shields, louvres) at a low level, and, ideally, be on PIR sensors. No up-lighting should be used.  
Reason: To ensure that any protected species which are legally protected

under the Wildlife and Countryside Act 1981 are not compromised by the work hereby approved.

10. No development above ground level shall commence until details (drawings and photographs) identifying bio-diverse uplift on site has been submitted to and approved in writing by the Local Planning Authority. The habitats created shall remain in perpetuity thereafter.  
Reason: Local Planning Authorities are required to promote the protection and recovery of priority species populations and encourage opportunities to incorporate biodiversity improvements in and around developments, as set out in paragraph 179 and 180 of the National Planning Policy Framework (2021).
11. If during development, contamination not previously identified is found to be present at the site, then no further development (unless otherwise agreed in writing with the LPA) shall be carried out until the developer has submitted and obtained written approval from the LPA, a Method Statement detailing how this unsuspected contamination shall be dealt with.  
Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems, and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other offsite receptors.
12. Prior to the first occupation of the dwellinghouse vehicular parking and turning area shown on Drawing Block Plan (Part) Showing Parking and turning AB/03C/PL/2022, shall be constructed, surfaced and maintained free from obstruction within the site at all times for that sole purpose.  
Reason: To ensure that adequate onsite parking exists to serve each dwelling and vehicles can enter and leave the highway in a forward gear in the interest of highway safety.
13. No development above ground level shall be commenced until there has been submitted to and approved, in writing, by the Local Planning Authority details of the boundary treatment separating the vehicular access to barn No 2 and the residential garden area.  
Reason: To ensure that the boundary treatment is designed in a manner appropriate to the locality and to enhance the appearance of the development.

#### Notes to Applicant

1. Vegetation clearance must either take place outside the bird-nesting season (March to July inclusive), or within 24 hours of the all-clear from an appropriately qualified ecologist following a negative bird-nesting survey. Netting to prevent bird nesting may only be done with prior approval of the LPA.
2. Rutland County Council became a Community Infrastructure Levy (CIL) Charging Authority on 1st March 2016. Full details of CIL are available on the Council's website [www.rutland.gov.uk](http://www.rutland.gov.uk). The approved development may be subject to a Community Infrastructure Levy (CIL) liability.

**IMPORTANT NOTE:** The required CIL forms must be submitted to [cil@rutland.gov.uk](mailto:cil@rutland.gov.uk) and acknowledged prior to commencing the development. Failure to do so could result in additional financial penalties. If you have not received an acknowledgement by the time you intend to commence development then it is imperative that you contact [cil@rutland.gov.uk](mailto:cil@rutland.gov.uk).

If the development hereby approved is for a self- build dwelling, residential extension or residential annexe you may be able to apply for relief from CIL. Further details can be found on the Planning Portal:

[https://www.planningportal.co.uk/info/200126/applications/70/community\\_infrastructure\\_levy/2](https://www.planningportal.co.uk/info/200126/applications/70/community_infrastructure_levy/2)

3. This application is the subject of a legal agreement and this decision should only be read in conjunction with this agreement. The agreement addresses the issue relating to not to cause permit or allow Implementation of the Previous Permission granted at appeal for 3 dwellings (2020/0843/PAD) and not at any time to cause permit or allow Implementation of any Class Q Consent relating to the Barn.

## **Site & Surroundings**

1. The site is an agricultural building within a farmyard located about half a mile east of Caldecott, within the open countryside. The building is a portal/steel framed structure, with an approximately 2.45 metre high blockwork wall along two sides. Above this wall is a mixture of steel and timber cladding. These walls/cladding wraps around the corners of the north-west and south-east gables, though these elevations are predominantly open. The roof of the building is clad in steel profiled sheeting, and it has a concrete floor.
2. The site and surrounding grazing land is flat, and the barn is visible from public views when travelling in either direction along the road; however there is established hedgerow along the roadside boundary to the site and surrounding fields.
3. The applicant successfully applied for the conversion of another smaller agricultural building within the farmyard to 2 new dwellings (reference no. 2018/0660/PAD). These have subsequently been converted, with the finalised scheme being submitted as a planning application (work commencing prevented a further Class Q submission, with the fallback position of the Class Q permission justifying the proposal). It is understood that these are presently being used as holiday lets. There is a further agricultural barn at the rear of the farmyard.
4. A Class Q Prior Approval application was refused in 2020 under reference no. 2020/0843/PAD for the conversion of the barn into three dwellings. This subsequently allowed at appeal on 9 February 2021. Rather than convert the barn in accordance with the prior approval, a planning application was submitted exploiting the fallback position, under reference No 2021/0672/FUL for the demolition of the existing barn and the erection of three new dwellings together

with associated car parking and allocated landscaping, designed to appear in scale and appearance as barn conversions and a farmhouse. Planning permission was granted by the Planning and Licencing Committee at its meeting in August 2021 was subject to a legal agreement not to undertake the previous prior approval allowed at appeal.

## Proposal

5. The current application now seeks permission for the demolition of existing agricultural barn and erect 2 no. 3 storey dwellings, relocation of entrance doors of barn No 2 to the rear, extension of existing farm track, creation of new parking and turning area to the rear of barn 2.
6. Proposed materials would be coursed reclaimed red brick, render and timber boarding with natural roofing slates.
7. The remaining farm building to the rear would be retained. As part of this application, it is proposed to relocate of entrance doors of barn No 2 to the rear elevation to allow its continued use, extension of existing farm track, creation of new parking and turning area to the rear of barn 2. The access serve the proposed residential dwellings and barn No 2 would be separated.
8. The existing and proposed plans are attached as Appendices.
9. During the determination of the application several amendments have been made to the scheme to address issues with the external appearance, scale and form of both the proposed dwelling, materials to be used. In addition, the size of the application site has been increased to accommodate an access track and parking and turning area to allow the relocation of the access doors to barn No 2 to be relocated to the rear to allow its continued use without access been restricted by the residential development. Drawings have also submitted to show that sufficient parking and manoeuvring space can be accommodated on the site to server the residential development and allow cars to park and turn and leave the site in forward gear.

## Relevant Planning History

2017/0250/PAD	Change of use from agricultural building to dwelling (main barn)	Refused
2017/0592/PAD	Conversion of barn to residential use (Roadside Barn)	Prior approval Not required
2018/0660/PAD	Conversion of existing Roadside Barn to 2.no residential units	Approved
2019/0651/FUL	Conversion of bar to 2no. residential units (Roadside Barn)	Approved
2020/0843/PAD	Class Q Prior Approval for three dwellings (main barn)	Refused (allowed) at appeal

2021/0672/FUL

Demolition of existing agricultural barn and the erection of 3 no. two-storey dwellings together with associated car parking and landscaping.

Approved (Subject to Legal Agreement)

## **Planning Guidance and Policy**

### **National Planning Policy Framework (NPPF) 2019**

Chapter 2 – Achieving Sustainable Development  
Chapter 5 - Delivering a sufficient supply of homes  
Chapter 9 - Promoting sustainable transport  
Chapter 12 - Achieving well-designed places  
Chapter 15 - Conserving and enhancing the natural environment

### **Site Allocations and Policies DPD (2014)**

SP6 - Housing in the Countryside  
SP15 - Design and Amenity  
SP19 - Biodiversity and Geodiversity Conservation  
SP23 - Landscape Character in the Countryside

### **Core Strategy DPD (2011)**

CS03 - The Settlement Hierarchy  
CS04 - The Location of Development  
CS19 - Promoting Good Design  
CS21 - The Natural Environment

### **Supplementary Planning Guidance**

Design Guidelines for Rutland

### **Neighbourhood Plan**

There is no adopted Neighbourhood Plan for the Parish

### **Officer Evaluation**

#### Principle of the use

10. The Development Plan, specifically Policies CS4 and SP6, restricts new housing in the countryside to that which is necessary, usually for agriculture or forestry. This is supported by the advice in Paragraph 79 of the revised National Planning Policy Framework (NPPF).
11. Policy CS4 states that conversion will only be permitted where the building is close to sustainable settlements and where there is no environmental impact. Policy SP6 builds on the Core Strategy and sets out where residential conversion might be allowed.

12. Since the introduction of Class Q permitted development rights, with no consideration of sustainability, this can be a material consideration in the determination of an application to convert a rural building, i.e. where there is a clear possibility and intention to use the Class Q rights. There is an extant Class Q approval granted and a planning permission, and case law has established that a fallback position should be given considerable weight.
13. Notwithstanding this, every application should still be assessed on its merits. In this instance the proposed scheme would result in an internal floor area of approximately 533m<sup>2</sup>. The previous planning approval granted under reference No 2021/0672/FUL was 465m<sup>2</sup> compared to the extant class Q approval 536m<sup>2</sup>. The proposed design of the new dwellings would represent a visual enhancement over the previous planning permission and prior approval conversion scheme. On this basis it is considered that the proposed scheme would be a benefit from the fallback position.
14. During the determination period of the application the application has been revised to address issues with the external appearance, scale and form of both the proposed dwelling and the use of materials. The size of the application site has been increased to accommodate an access track and parking and turning area to allow the relocation of the access doors to barn No 2 to be relocated to the rear to allow its continued use without access been restricted by the residential development. Additional information has been submitted to show that sufficient parking and manoeuvring space can be accommodated on site to server the residential development.
15. Notwithstanding this, were it not for the extant Class Q consent and planning permission for 3 dwellings for the site, local and National planning policies restricting development in the open countryside would be unhindered and facilitate a robust reason for refusal. It should also be noted that the Class Q was for three dwellings, as is the current proposal; for the avoidance of doubt there would be no scope for any further increase in the number of units, regardless of size or footprint. The site has also reached its maximum number (5) of residential units under Class Q.
16. Given the above, it is considered that the principle of residential development here has been established, and as such the proposal would not be in conflict with Section 5 of the NPPF (2019), Policy CS04 of the Rutland Core Strategy (2011), and Policy SP6 of the Site Allocations and Policies Development Plan Document (2014).

#### Impact of the use on the character of the area

17. The Design Officer has confirmed that 'the revisions made to the above application in December 2022, I can confirm that the open porch on Dwelling B is now acceptable. The previous amendments made in November 2022 have been covered in my comments of 11 November 2022 and since the scheme was submitted in May 2022 – the original (built and landscape) proposals have been improved significantly to sit more comfortably in to the site and context.'



18. The relocation of the barn doors in barn No 2 to the rear elevation would not have a significant visual impact on the appearance of the buildings. The access track to the rear of barn No 2 already exists and the land to the rear has already been used for storage of agricultural equipment and fencing. Formalising this area of land into a hard surfaced parking and turning area would not have an adverse impact on the wider environment and would screen vehicle movement currently open to view from the adjacent highway.
19. Although the number of dwellings has been reduced from 3 to 2 and it is considered that the designs of the new buildings would be a visual improvement over the scheme granted prior approval scheme and those granted approval under reference No 2021/0672/FUL. By virtue of the design, scale and materials to be used, the proposal would not have a detrimental impact upon the character or appearance of the open countryside or local area, in accordance with the NPPF (Sections 5 9, 12 & 15), Policies CS04, CS19 & CS21 of the Rutland Core Strategy (2011) and Policies SP6, SP15, SP19 & SP23 of the Site Allocations and Policies Development Plan Document (2014).

#### Impact on the neighbouring properties

20. There would be no adverse impacts on the amenity of any nearby properties.

#### Highway issues

21. The existing access would be used; Revised plans have been submitted showing parking complying to the councils' adopted standards and that there is sufficient space to manoeuvre on the site to leave in forward gear.
22. The Highway Authority have no objection to the scheme, and conditions are imposed for the proposed parking and turning area to serve the residential development. The proposal would result in adequate access, parking and turning facilities and would not have an unacceptable adverse impact on highway safety in accordance with Section 9 of the NPPF (2021) and Policy SP15 of the Site Allocations and Policies Development Plan Document (2014).

#### Section 106 Heads of Terms

23. Like the previous application the applicant has confirm their agreement to enter into a legal agreement stating 'further to our call yesterday as discussed, the s.106 requirement could simply be dealt with by a Deed of Amendment where we insert a new plan showing the outline of the proposed two dwellings – and that we agree in all other respects to abide by the existing s.106 agreement which in short requires us to never make another Class Q application on the site'. This revised agreement is currently being drafted between the relevant legal parties and contains the obligation 'not to cause permit or allow Implementation of the Previous Permission granted at appeal for 3 dwellings (2020/0843/PAD) and not at any time to cause permit or allow Implementation of any Class Q Consent relating to the Barn.

#### Ecology

24. On the rear of barn No 2 are two owl boxes. In relation to any adverse impact on these boxes (not in use at the time of last site visit), The senior Planning Ecologist

has stated that Barn owls get habituated to humans and their activity around a farmyard, and I think vehicles nearby are unlikely to deter them from using the nest boxes. As long as they don't add extra external lights near to the boxes, which may put them off as it will interfere with their vision. In accordance with other ecological advice concerning biodiversity improvement on the site appropriately worded conditions are proposed.

#### Crime and Disorder

25. It is considered that the proposal would not result in any significant crime and disorder implications.

#### Human Rights Implications

26. Articles 6 (Rights to fair decision making) and Article 8 (Right to private family life and home) of the Human Rights Act have been taken into account in making this recommendation.

27. It is considered that no relevant Article of that act will be breached.

### **Consultations**

28. **Caldecott Parish Council**

Caldecott Parish Council has no objection to this application.

29. **Archaeology**

Thank you for your consultation on the above planning application.

Having reviewed the application against the Leicestershire and Rutland Historic Environment Record (HER), we do not believe the proposal will result in a significant direct or indirect impact upon the archaeological interest or setting of any known or potential heritage assets. We would therefore advise that the application warrants no further archaeological action (NPPF Section 16, para. 194-195).

Thanks,  
Chloe Cronogue-Freeman  
Senior Planning Archaeologist  
Leicestershire County Council

30. **Design Officer - Policy**

Dwelling A - central glazed element now all one as discussed - Dwelling B - solid element under porch removed allowing porch to overhang - although there is now a smaller solid element labelled 'store' - more info on this needed - assuming brick? If having, needs recessing behind timber posts but may still look odd

31. **Ecology Unit**

With reference to the above consultation, please see our standing advice regarding this application:

G: New field entrances and minor applications requiring removal of hedgerows (NOTE: this is separate to Hedgerow Regulations approval applications, which LCC will assess individually when consulted)

There is no need for an ecology survey unless over 20m of native species hedgerow adjacent to countryside is being removed. Surveys are not needed for removal of non-native hedges or those forming a residential curtilage or not adjacent to open countryside.

A Note to Applicant regarding badgers and nesting birds may be applied, as above.

Removal of over 20m of hedge should trigger a pre-determination hedgerow survey. It is helpful to use the same survey standards as for Hedgerow Regulations applications.

[https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment\\_data/file/438652/hedgerow\\_\\_guide\\_part\\_1.pdf](https://assets.publishing.service.gov.uk/government/uploads/system/uploads/attachment_data/file/438652/hedgerow__guide_part_1.pdf)

If the hedgerow is classed as 'Important' for wildlife and landscape when applying these survey standards, it should not be removed.

Compensatory planting for loss of a native species hedgerow should be a planning condition. For suitable species, see below.

H: landscape plans for small developments - species-mixes

Suitable trees for woodlands and tree planting in natural open space or adjacent to open countryside are:

Oak (*Quercus robur*)

Aspen (*Populus tremula*)

Field Maple (*Acer campestre*)

Birch (*Betula pendula*)

Crab apple (*Malus sylvestris*)

Wild Cherry (*Prunus avium*)

Scots Pine (*Pinus sylvestris*) - small amounts

Rowan (*Sorbus aucuparia*)

Woodland shrubs can be from the hedge list below.

In wet areas and waterside, these species are recommended:

Crack Willow (*Salix x fragilis*)

White Willow (*Salix alba*)

Alder (*Alnus glutinosa*)

Osier (*Salix viminalis*)

Grey Sallow (*Salix cinerea*)

Goat Willow (*Salix caprea*)

Tree and shrub species to avoid in natural situations:

These species are often in planting lists but are not native in our area; we recommend replacement with a locally native species: Beech, Hornbeam, Bird Cherry, Yew, Horse Chestnut, Bay Willow, Weeping Willow, Sweet Chestnut, Common Lime, Balsam Poplar, Hybrid Black Poplar, Sycamore, Norway Maple, Sea Buckthorn.

Wayfaring tree (*Viburnum lantana*) and Whitebeam (*Sorbus aria*) are only native in limestone areas (parts of Rutland and the eastern edge of Melton). These species are native, but rare and of conservation significance in our area: Small-leaved Lime (*Tilia cordata*), Wild Service Tree (*Sorbus torminalis*), Alder Buckthorn (*Frangula alnus*), Sessile Oak (*Quercus petraea*), native Black Poplar (*Populus nigra*). We recommend they are avoided because of the risk of introducing pathogens or non-native genetic material into our local stock.

New native hedges

80% Hawthorn (*Crataegus monogyna*), plus any one or more of the following:

Field Maple (*Acer campestre*)

Hazel (*Corylus avellana*)

Dogwood (*Cornus sanguinea*)

Blackthorn (*Prunus spinosa*)

Dog Rose (*Rosa canina*)

Holly (*Ilex aquifolium*)

Wild Privet *Ligustrum vulgare*

Buckthorn *Rhamnus catharticus*

Gapping up hedges: Hawthorn (*Crataegus monogyna*) is recommended

Hedgerow standards: English Oak (*Quercus robur*) and Crab Apple (*Malus sylvestris*)

Suitable wildflower grassland species-mixes are for neutral, clay or loamy soils and should include Yellow Rattle (*Rhinanthus minor*). They should have UK provenance. These mixes, or similar, are acceptable:

<https://wildseed.co.uk/product-category/mixtures/complete-mixtures/> (Emorsgate EM2, EM4, EM5)

<https://britishwildflowermeadowseeds.co.uk/collections/neutral-soils>

<https://www.wildflower.co.uk/products/wildflower-seed-mixtures/all-wildflower-seed-mixtures/lw4-loam-alluvial-soils-100.html>

<https://germinalamenity.com/re1-traditional-hay-meadow-mg5-grassland>

Wildflower meadows should be created on clean low-nutrient subsoils - fertiliser must not be applied.

To maintain species diversity, meadows should be cut in late summer and the cuttings MUST be removed within a week. Tidying-up cuts are OK in autumn and early spring, but wildflower meadows should not be mown between mid-April and late-July.

## 32. **Highways**

LHA - further information is needed to clearly show parking and turning for the 2 dwellings (all drawings to include dimensions)

At present it is not clear how many spaces are provided for each property and where the vehicles can turn to ensure they enter the highway in a forward direction

## 33. **Public Protection**

Thank you for consulting the Pollution Team regarding the planning application referenced 2022/0646/FUL; while we have no objections to the proposal, we would suggest that a planning condition was applied about unsuspected contamination.

CONDITION: If during development, contamination not previously identified is found to be present at the site, then no further development (unless otherwise agreed in writing with the LPA) shall be carried out until the developer has submitted and obtained written approval from the LPA, a Method Statement detailing how this unsuspected contamination shall be dealt with.

34. **Design Officer – Policy**

Evidence of a comprehensive site and contextual analysis and Design Process in accordance with the Design Guidelines for Rutland and South Kesteven (Design SPD) Para 1.5 and Section 3 and the National Design Guide: Context and Identity sections has not been given.

This work is needed in order to study key elements of the site such as key views towards it, views out of it, landscape and built character. Following the Design Process would also require a response to this context to be given, along with a vision and identity for the proposed dwellings.

This work should not be undertaken retrospectively following these comments in order to justify the present design, but rather the process started from the beginning and followed through in order - leading to a site specific design proposal that responds to the context (including landscape proposals).

This work, once undertaken, would demonstrate that the proposed dwellings sit comfortably within the site's landscape and built context, don't have a negative impact on views towards the site, take opportunities for views out of the site, have a strong character and identity and represent high quality design as defined in the Design SPD and the National Design Guide.

35. **Design Officer - Policy**

In reviewing this scheme, the Rutland Design SPD should be followed along with the National Design Guide. Both of these documents require a detailed site and contextual analysis to be produced and for schemes to respond to this analysis - with this work and narrative being clearly set out. The site sits in open countryside and there are clear views towards the site from Lyddington Road - these views have not been studied, illustrated, assessed or responded to. The character of the area and also the buildings that surround the proposal have also not been observed or responded to. How the existing buildings and the proposed new buildings will sit together and relate to one another and how these will appear within the landscape setting and views towards the site needs to be fully assessed and communicated.

The proposed scheme (2022/0646/FUL) introduces a number of architectural features that do not fit with the character of the area and that would have a negative impact on this character and views to the site. These features on the north elevations such as dormers on the roof, a gable feature and large extents of glazing. The scheme that was approved (2021/0672/FUL) has a more sensitive and simple northern elevation that is acceptable. This includes conservation skylights, some more traditional window openings and larger openings typical of openings on a barn building. The proposed scheme should be brought back to a much more sensitive design that would fit within the context

of the site as required by national and local policy.

**36. Planning Policy**

Further to our telephone conversation regarding this proposal for two dwellings instead of the three dwellings originally granted permission after the principle was established under Class Q, I can confirm that as this proposal is in open countryside the proposal falls outside the scope of Policy CS10, housing density and mix. The following policies are the main consideration given the principle for housing on this site has already been established:

Policy SP6, housing in the countryside is applicable where the development itself, or cumulatively with other development, should not adversely affect the character and landscape of the area, or cultural heritage.

The Design policies in the Cores Strategy and the Site allocations & Policies DPD are both applicable along with Policy SP23, landscape character in the countryside.

**37. Ecology Unit**

As confirmed in the email sent to Heads of Service on 10th June, due to increased workloads associated with major development and biodiversity net-gain, LCC Ecology Services are currently unable to respond individually to consultations on most minor and householder development. Instead, our standing advice should be followed (uploaded as a separate document). If you are not sure when to apply the standing advice, please phone for an informal chat.

Kind regards  
Donna

Donna Oxbrough  
Senior Planning Ecologist  
Leicestershire County Council

**38. Highways**

No Objections following the submission of the revised block plan showing parking and turning submitted on 22/12/2022

**39. Design Officer – Policy**

Further to the revisions made to the above application in December 2022, I can confirm that the open porch on Dwelling B is now acceptable. The previous amendments made in November 2022 have been covered in my comments of 11 November 2022 and since the scheme was submitted in May 2022 – the original (built and landscape) proposals have been improved significantly to sit more comfortably in to the site and context.

**40. Ecology Unit**

Barn owls get habituated to humans and their activity around a farmyard, and I think vehicles nearby are unlikely to deter them from using the nest boxes. As long as they don't add extra external lights near to the boxes, which may put them off as it will interfere with their vision.

## **Neighbour Representations**

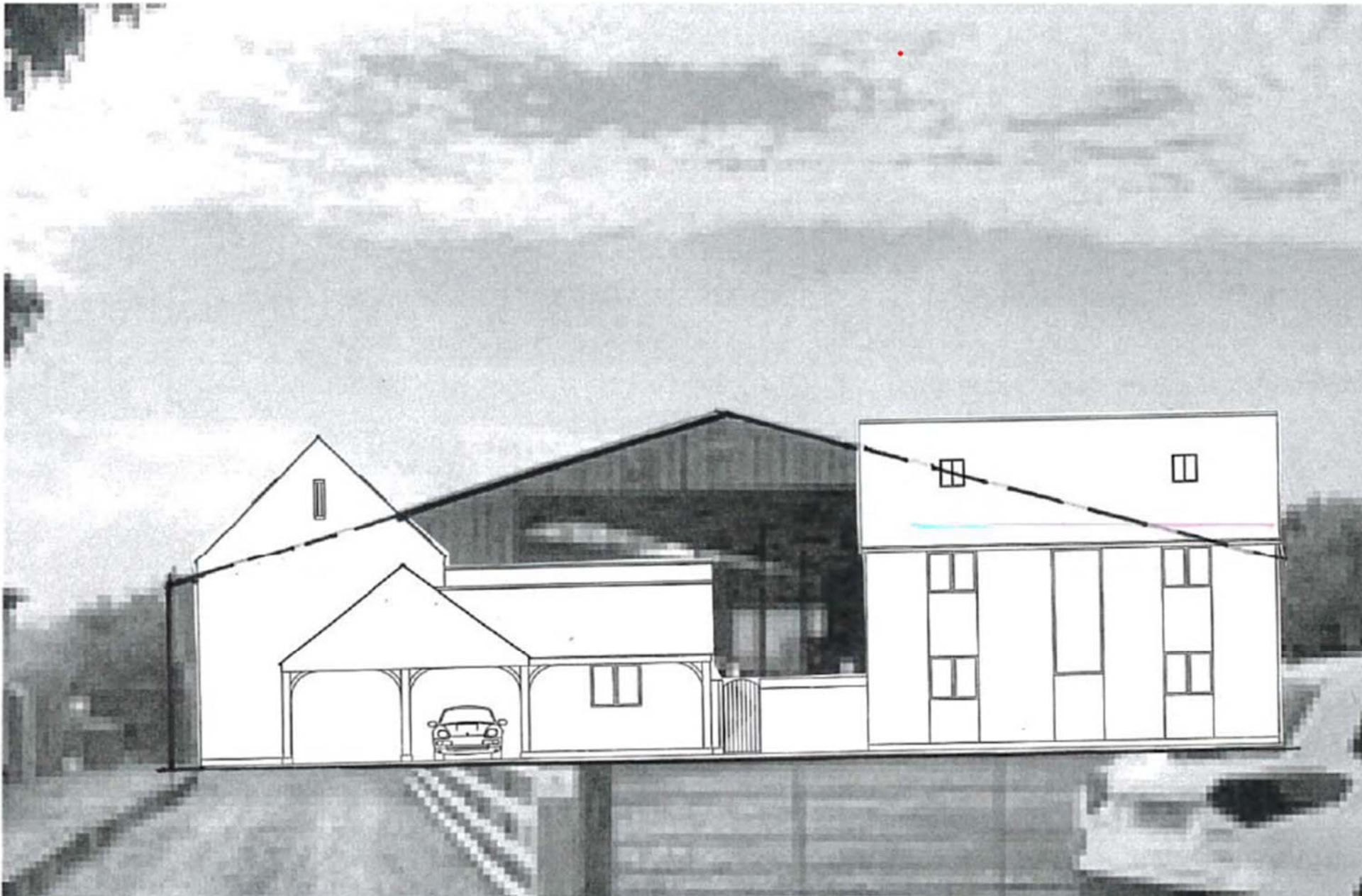
41. None

## **Conclusion**

42. Taking the above into account, and subject to the completion of a legal agreement it is considered that the proposal is in accordance with the NPPF (Sections 5 9, 12 & 15), Policies CS04, CS19 & CS21 of the Rutland Core Strategy (2011) and Policies SP6, SP15, SP19 & SP23 of the Site Allocations and Policies Development Plan Document (2014). There are no material considerations that indicate otherwise although conditions have been attached.

# Appendix 1 - Artist Impression

Fig 1. Barn as viewed from the entrance of the site from Lyddington Road

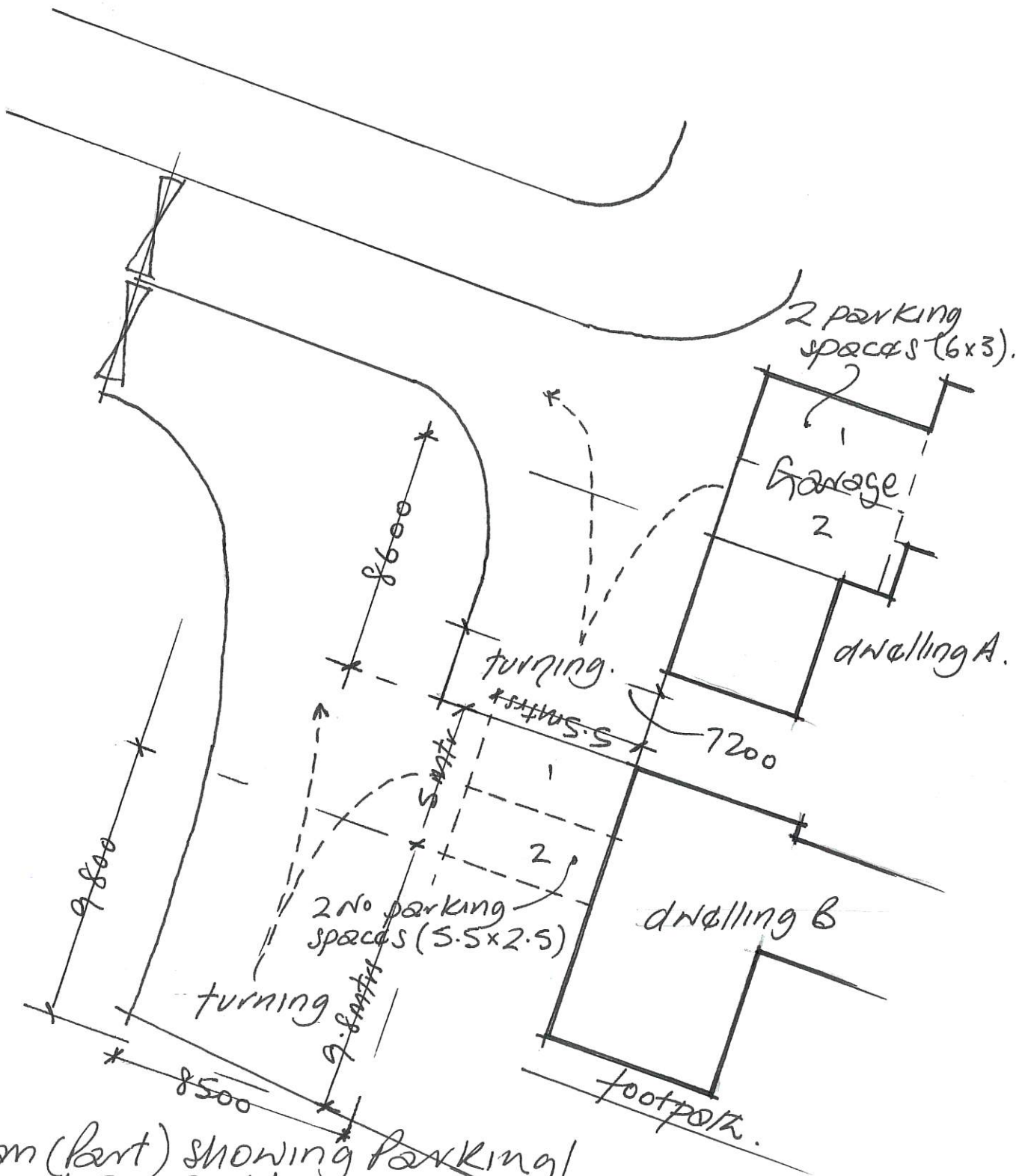




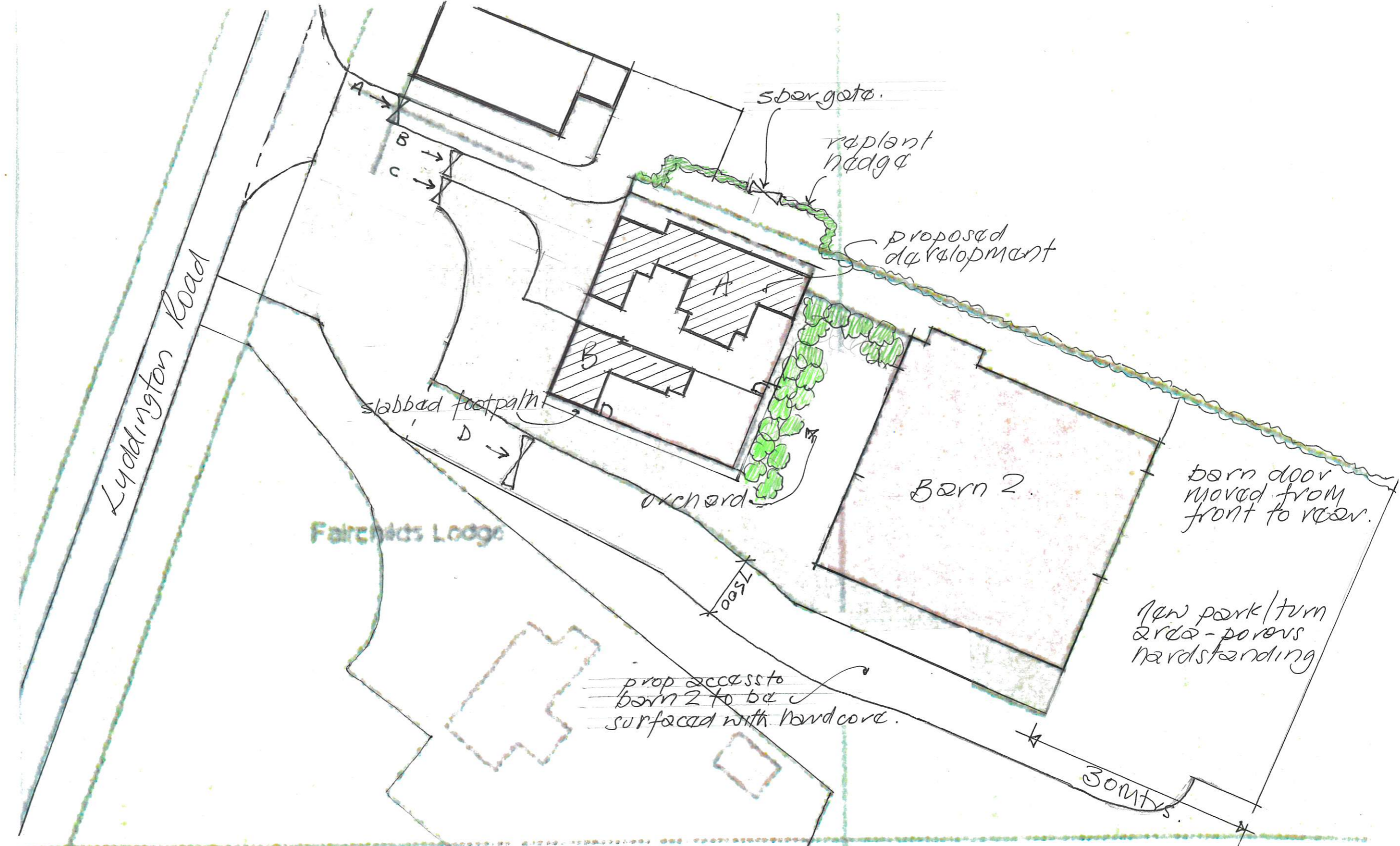
**SITE LOCATION PLAN  
AREA 5 HA  
SCALE 1:2500 on A4  
CENTRE COORDINATES: 487462, 294315**



Supplied by Streetwise Maps Ltd  
[www.streetwise.net](http://www.streetwise.net)  
Licence No: 100047474  
30/01/2023 16:22:37

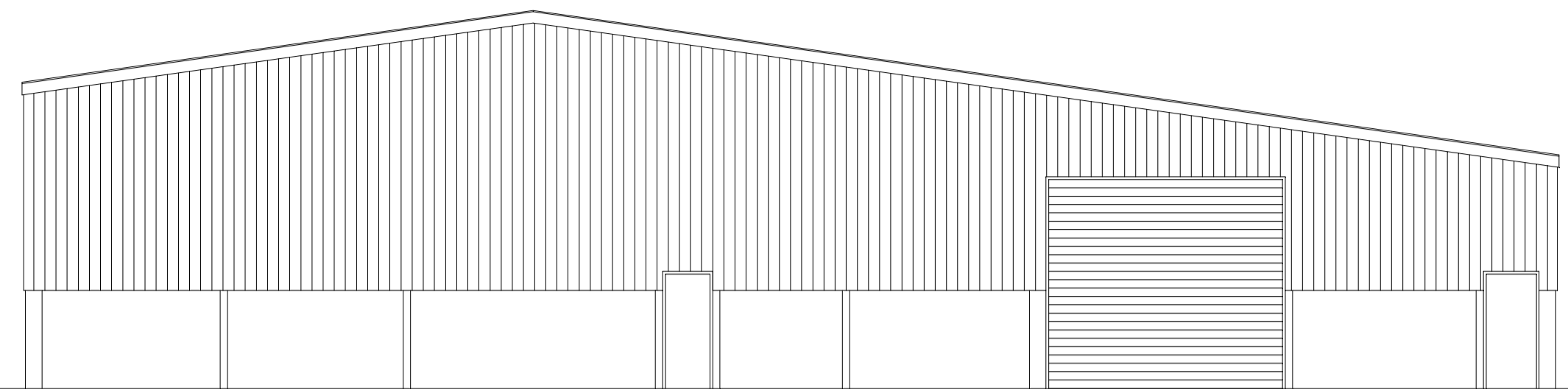


Block Plan (part) showing parking/  
 turning 1:200 @ A4.  
 Ref: AB/03C/PL/2022

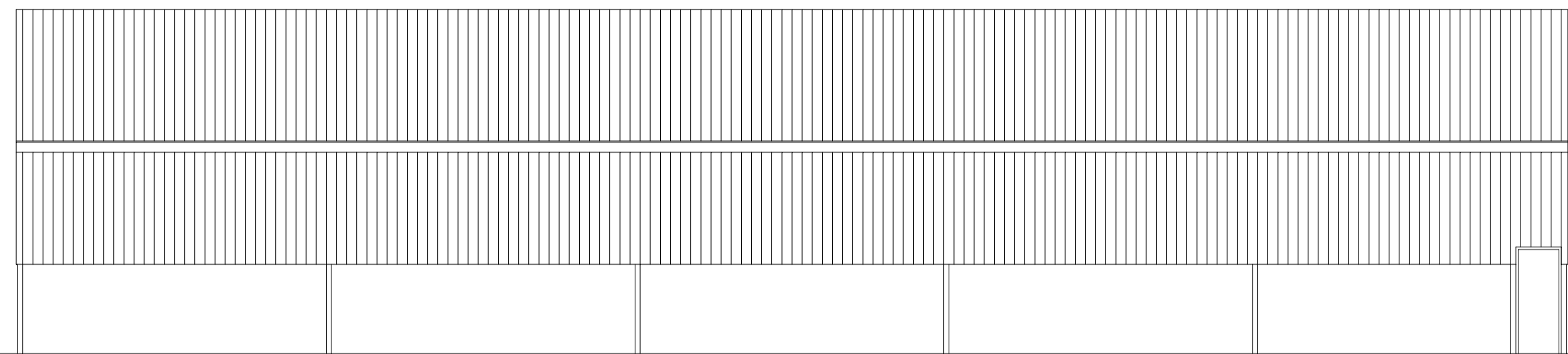


- Key
- A Gated access to existing holiday let
  - B Gated access to dwelling A
  - C Gated access to dwelling B
  - D Gated access to Barn 2.

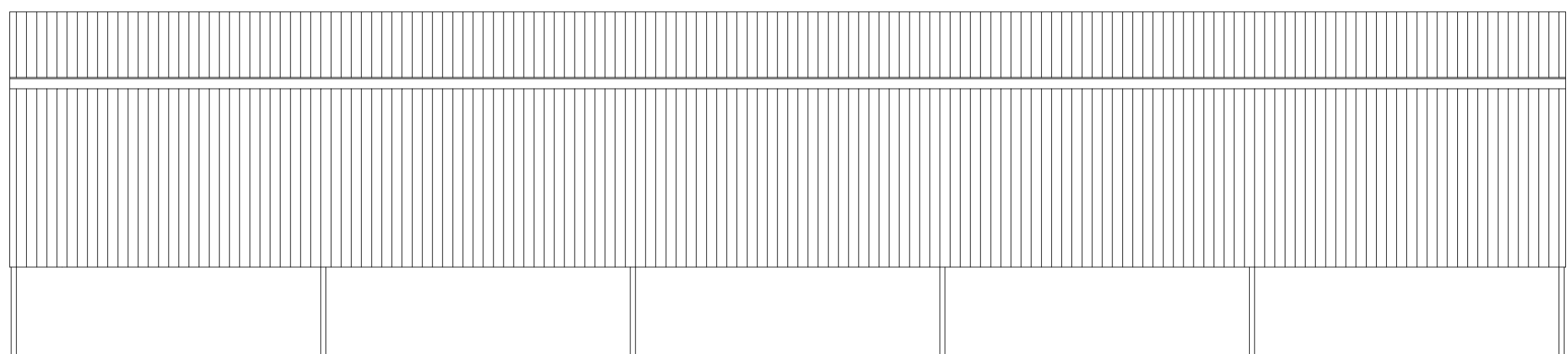
Block Plan showing revised parking arrangement for Barn 2. 1:500



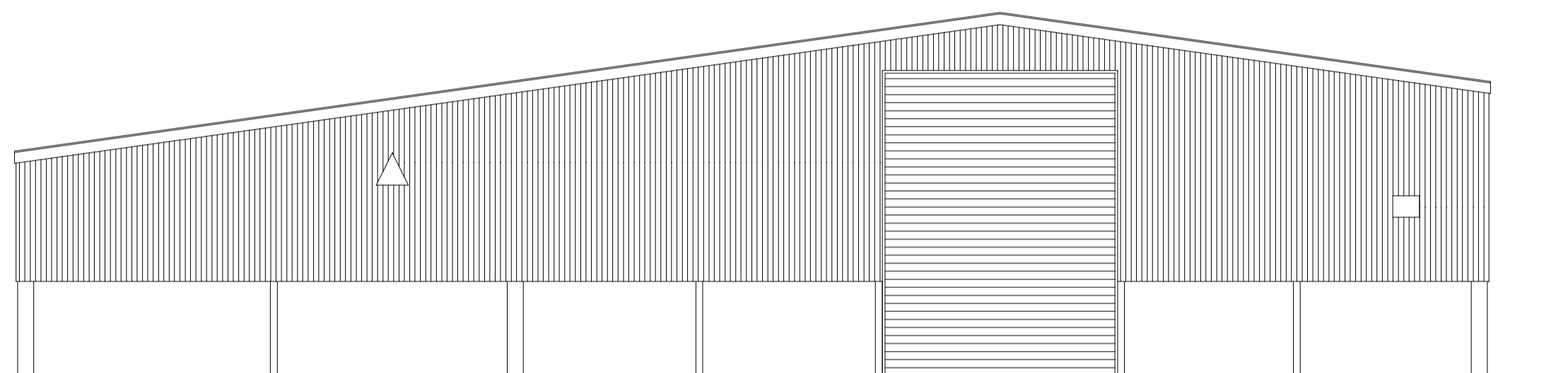
Proposed Front (West) Elevation 1:100



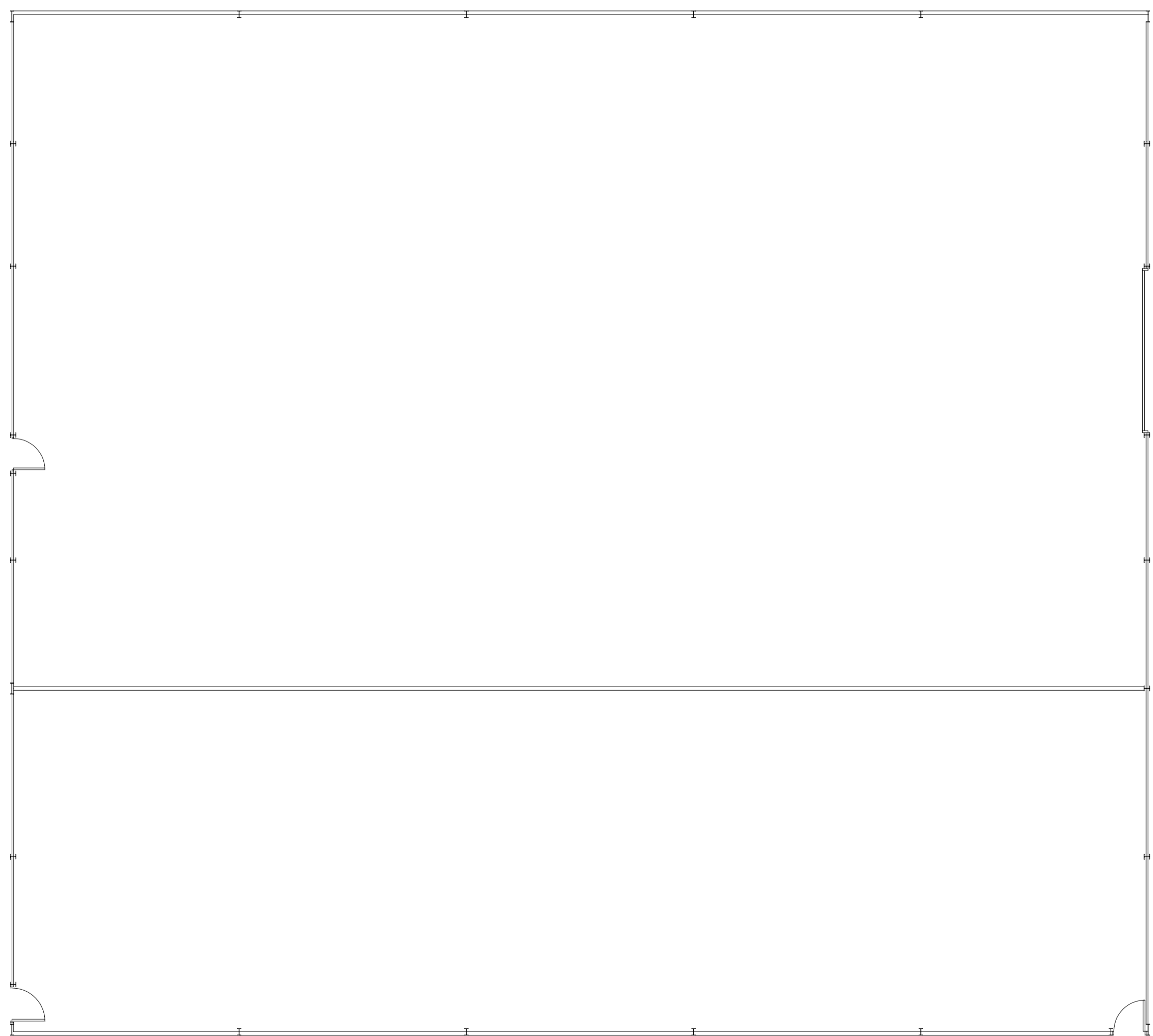
Existing Side (South) Elevation 1:100



Proposed Side (North) Elevation 1:100



Proposed Rear (East) Elevation 1:100



Proposed Ground Floor Plan 1:100

P R O P O S E D

Details of existing barn (and door to be moved):

Fairchild Lodge, Lyddington Road, Galdecott.

Scale 1:100

Planning Drawings

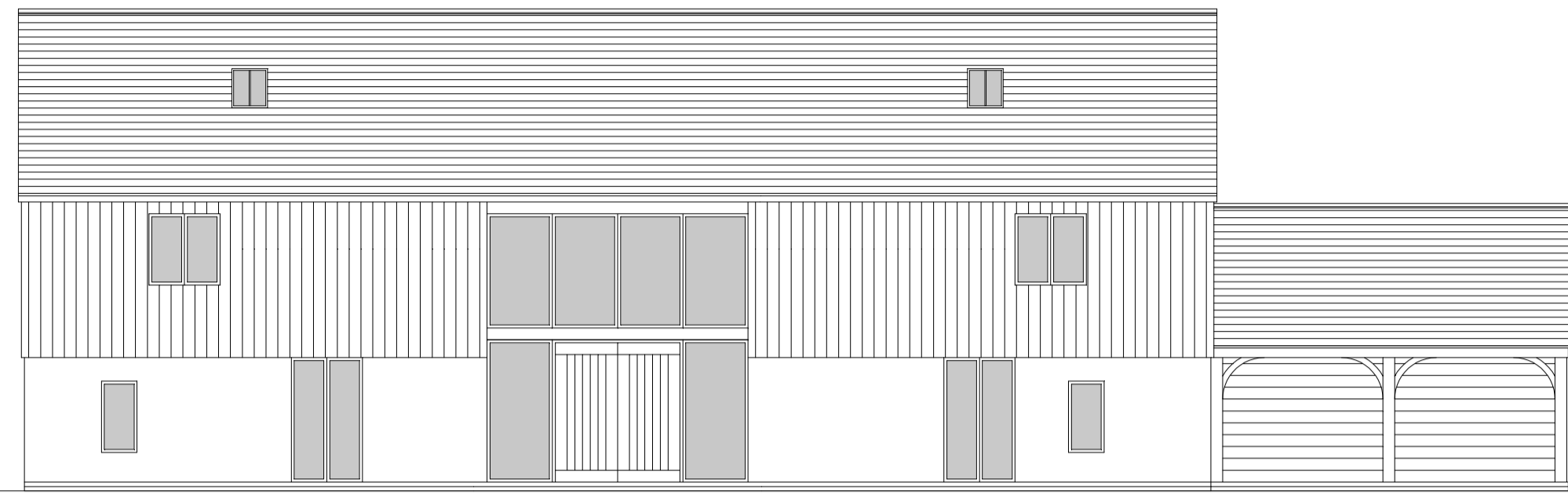
October 2022

Mr and Mrs A Brown

Ref: LB/11/PL/2022

Rutland Planning

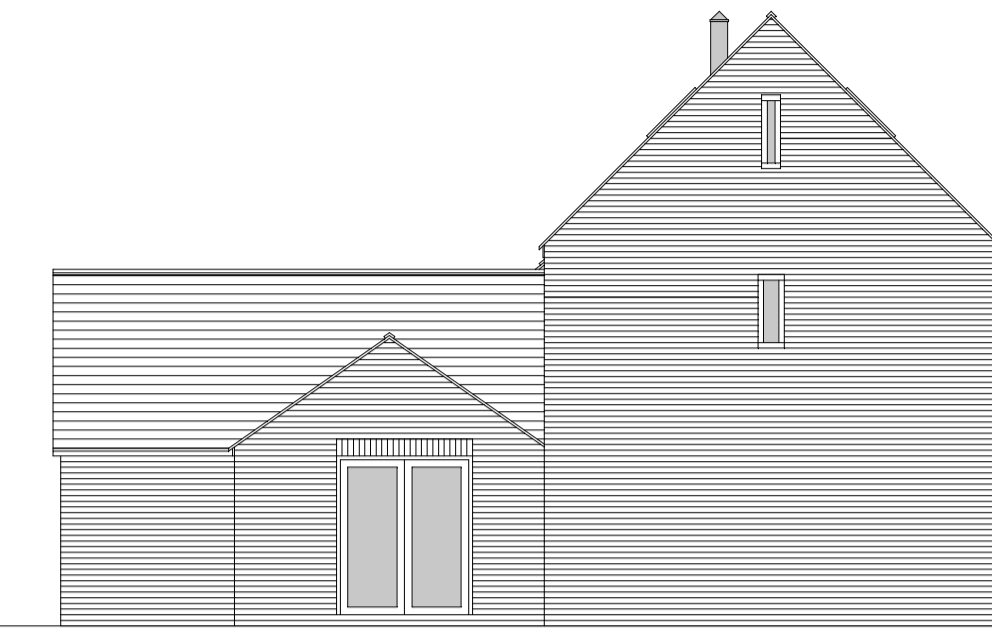
2, Harewood Close  
Lougham  
LE15 7JZ  
07515147748  
ray@rutlandplanning.co.uk



Proposed Front (North East) Elevation 1:100



Proposed Side (North West) Elevation 1:100

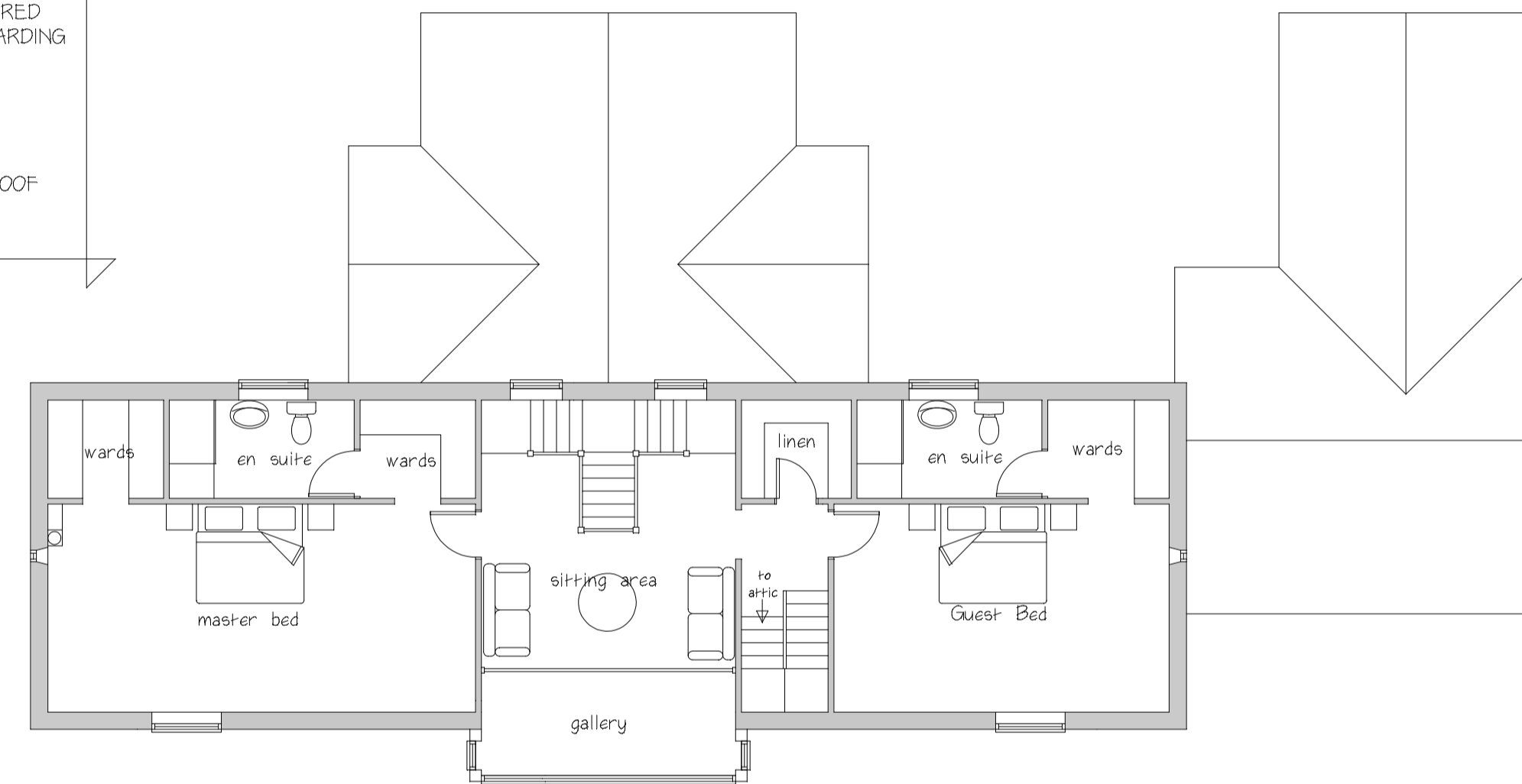


Proposed Side (South East) Elevation 1:100



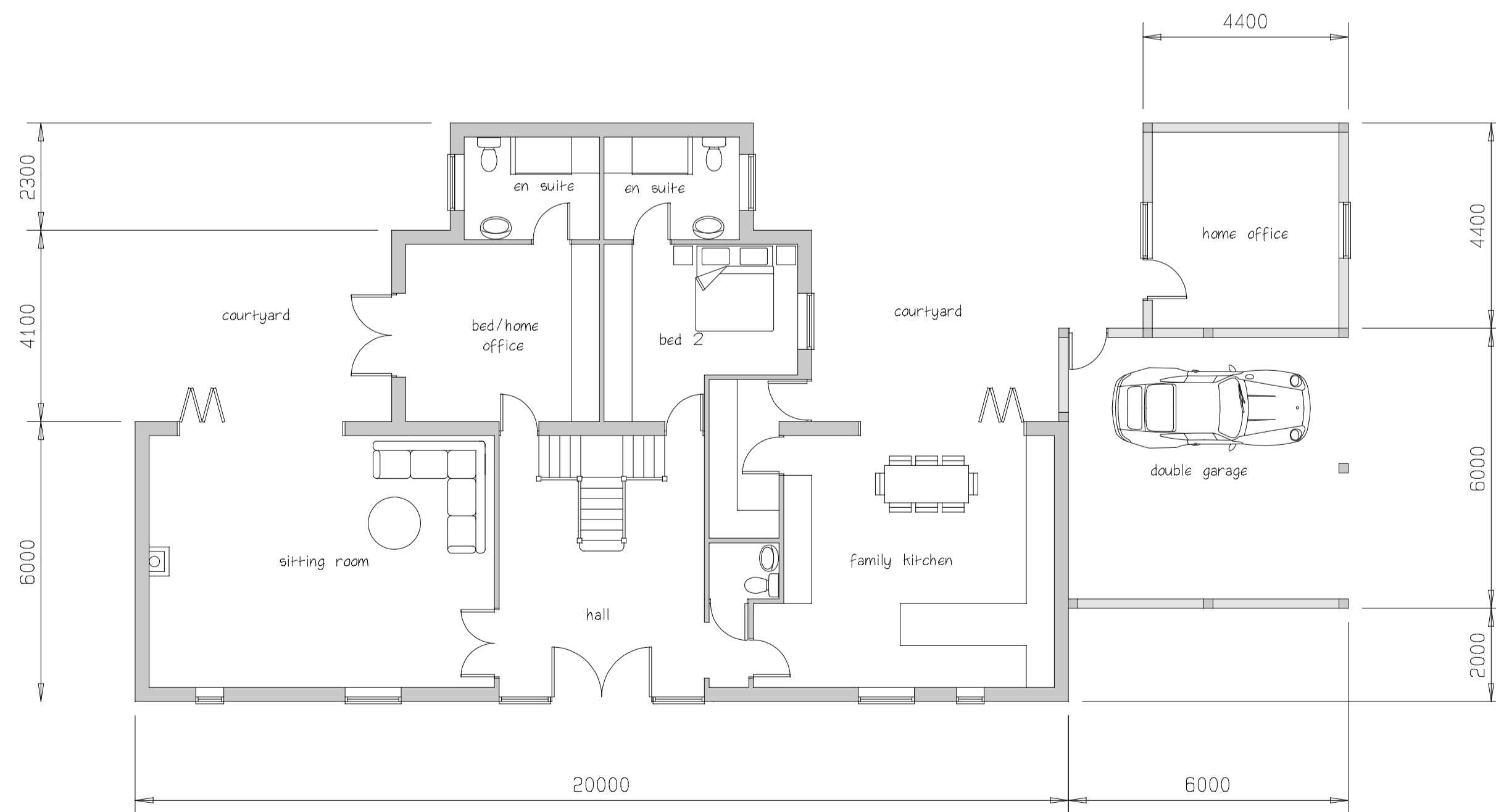
Proposed Rear (South West) Elevation 1:100

PLANNING NOTES  
 WALLS TO BE COURSED RECLAIMED STYLE RED BRICK, RENDER AND VERTICAL TIMBER BOARDING  
 ROOF TO BE NATURAL BLUE/GREY SLATE  
 ANODISED ALUMINIUM WINDOWS AND DOORS  
 CONSERVATION STYLE METAL CASEMENT ROOF WINDOWS

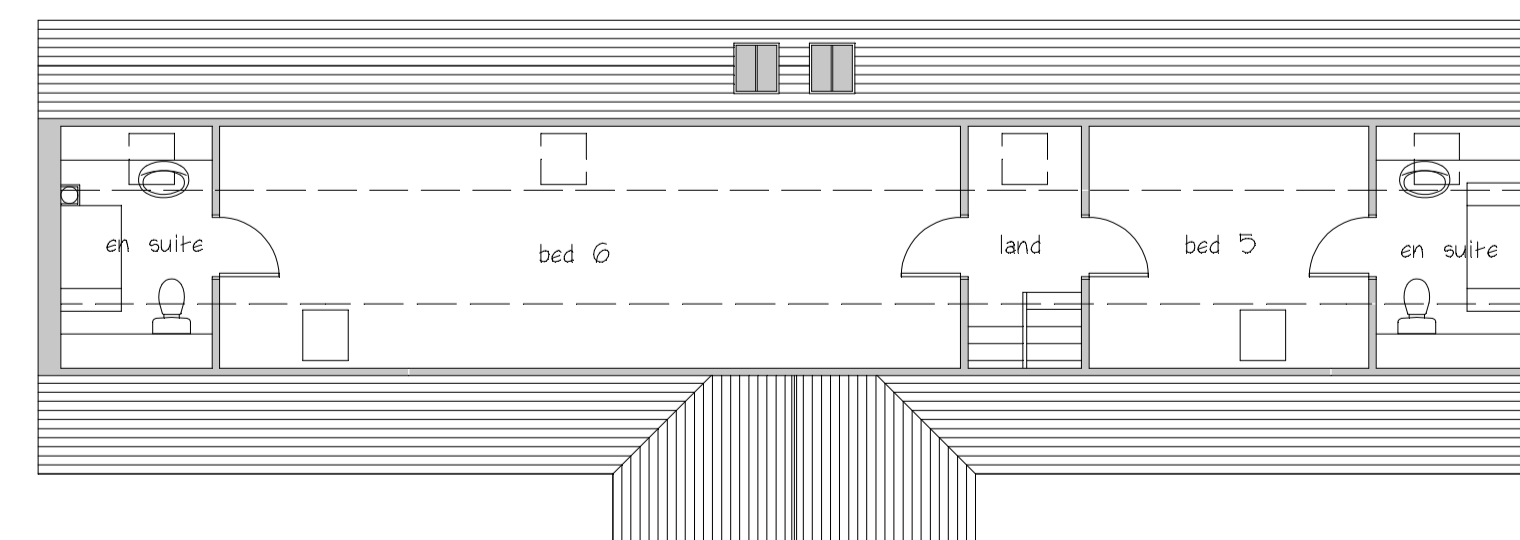


Proposed First Floor Plan 1:100

# D W E L L I N G   A



Proposed Ground Floor Plan 1:100

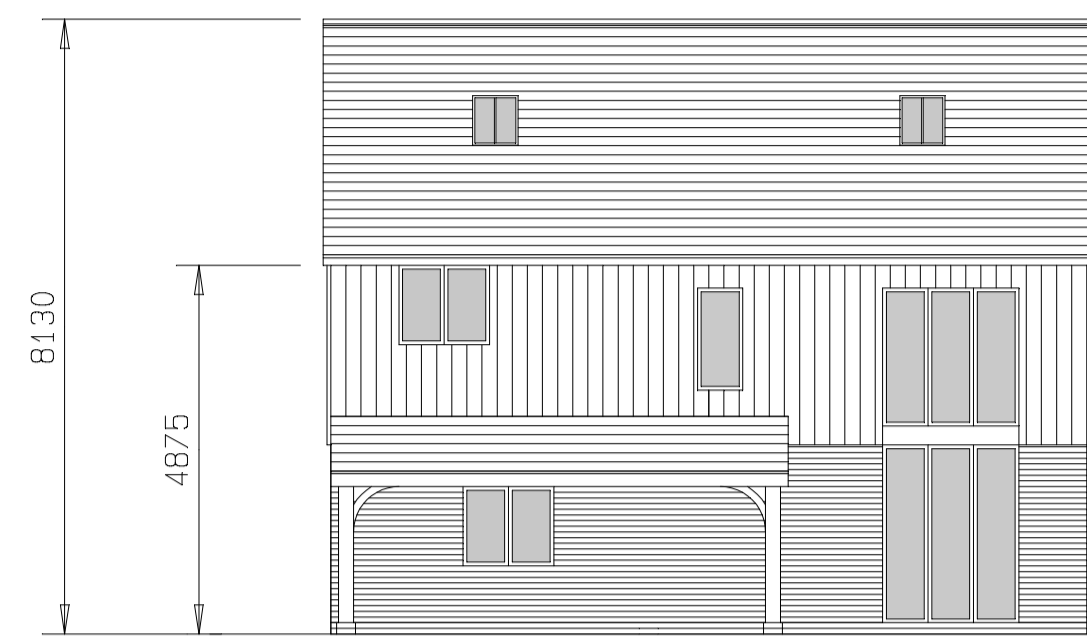


Proposed Second Floor Plan 1:100

AB/01B/PL/2022

REV A: GLAZING REDUCED TO THE FRONT ELEVATION & ROOF WINDOWS TO REPLACE DORMER WINDOWS FOR DWELLING 1  
 REV B: VERTICAL TIMBER BOARDING AND RENDER TO FRONT ELEVATION FENESTRATION ALTERED TO FRONT & STAIRWELL. FLUE ADDED

Proposed Detached Dwelling at  
 Fairchilds Lodge  
 Lyddington Road  
 Caldecott  
 Rutland  
 Client Mr And Mrs Andrew Brown  
 April 2022



Proposed Front (North West) Elevation 1:100



Proposed Side (South West) Elevation 1:100



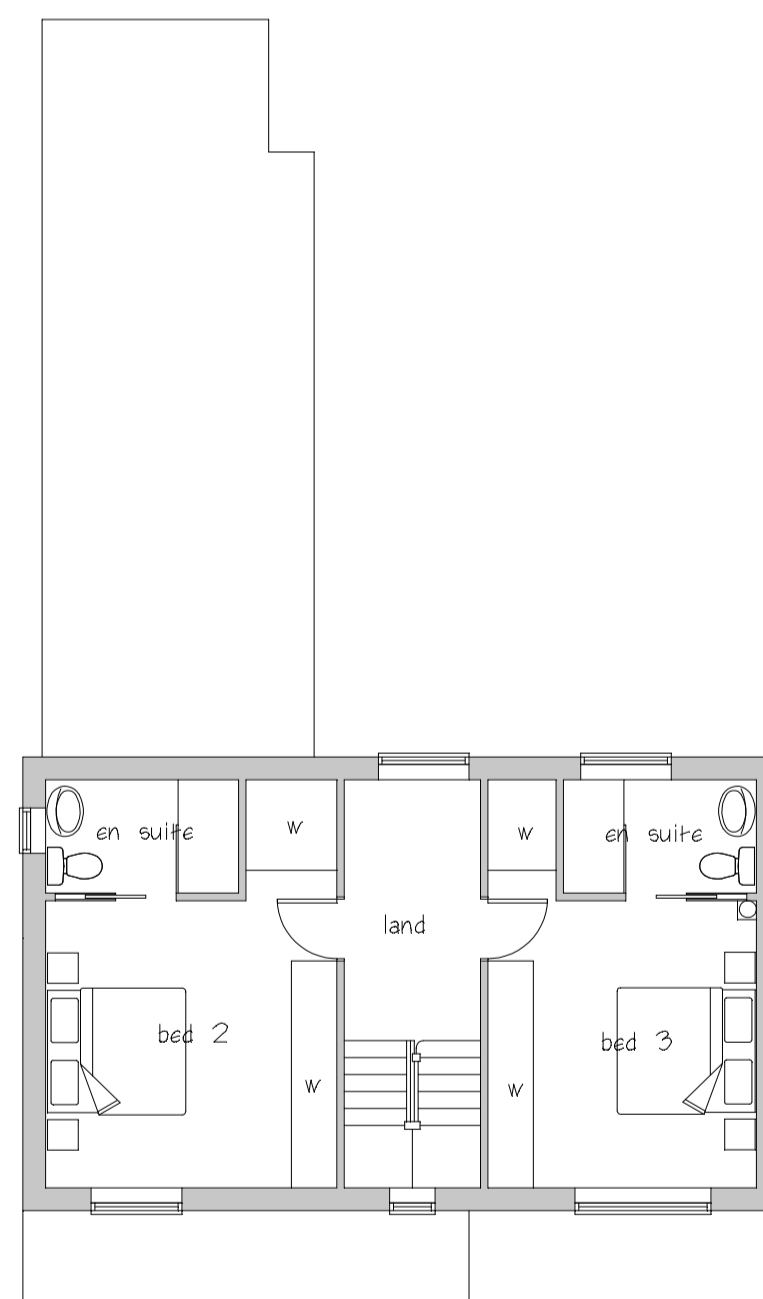
Proposed Side (North East) Elevation 1:100



Proposed Rear (South East) Elevation 1:100

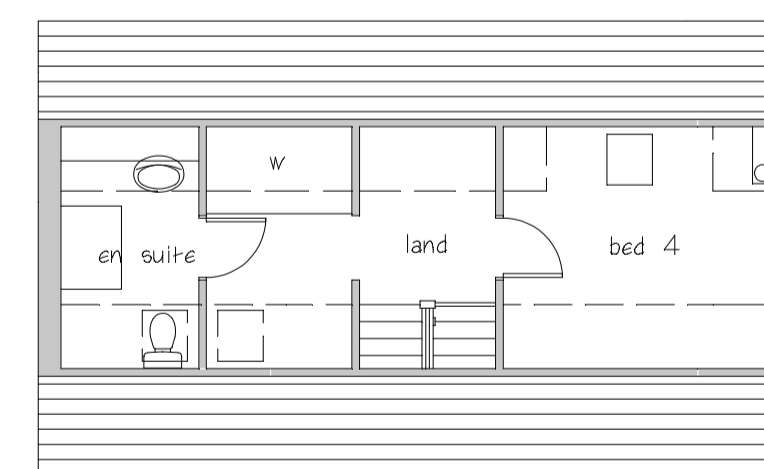


Proposed Ground Floor Plan 1:100



Proposed First Floor Plan 1:100

PLANNING NOTES  
 WALLS TO BE COURSED RECLAIMED STYLE RED BRICK, HORIZONTAL & VERTICAL TIMBER BOARDING  
 ROOF TO BE NATURAL BLUE/GREY SLATE  
 ANODISED ALUMINIUM WINDOWS AND DOORS  
 DORMERS TO HAVE LEAD ROOF AND CHEEKS



Proposed Second Floor Plan 1:100

Rev A Aug 22: Dormers replaced with roof windows  
 Rev B: Fenestration altered. Vertical boarding & render introduced to front elevation. Flue added

AB/02B/PL/2022

Proposed Detached Dwelling at

Fairchilds Lodge

Lyddington Road

Caldecott

Rutland

Client Mr And Mrs Andrew Brown

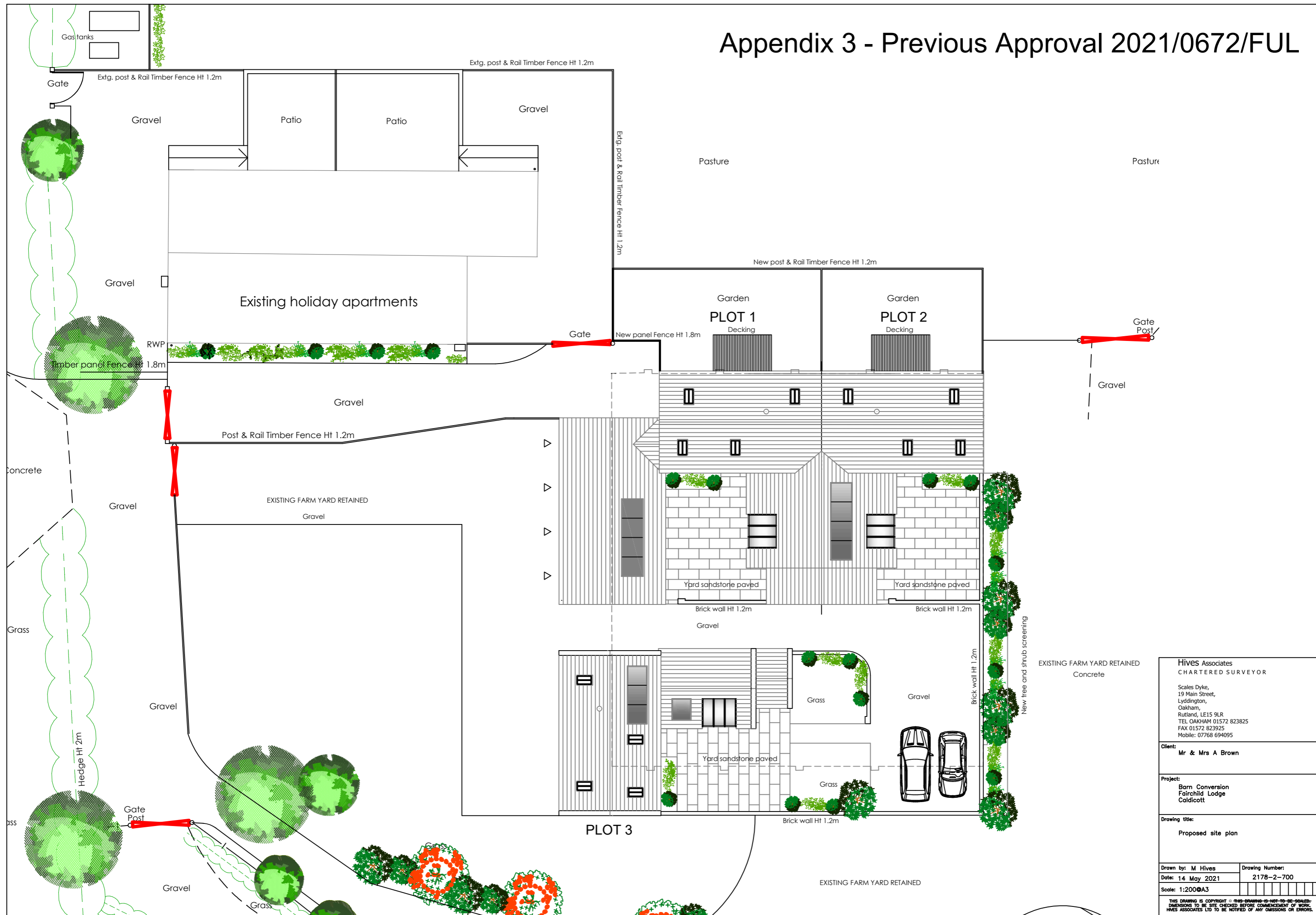
April 2022

D W E L L I N G B

Rutland Planning

2 Harewood Close  
 Lougham  
 Oatham  
 LE19 7JZ  
 07515147748  
 rony@rutlandplanning.co.uk

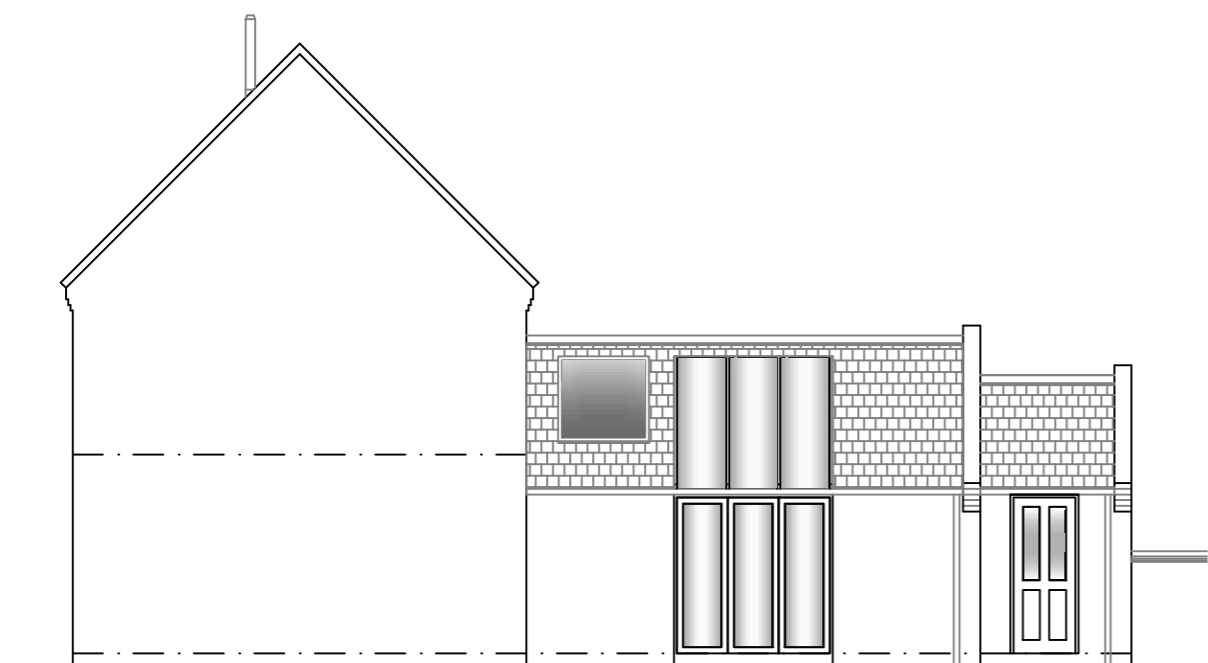
# Appendix 3 - Previous Approval 2021/0672/FUL



<b>Hives Associates</b> CHARTERED SURVEYOR  Scales Dyke, 19 Main Street, Lyddington, Oakham, Rutland, LE15 9LR TEL OAKHAM 01572 823825 FAX 01572 823925 Mobile: 07768 694095	
<b>Client:</b> Mr & Mrs A Brown	
<b>Project:</b> Barn Conversion Fairchild Lodge Caldicott	
<b>Drawing title:</b> Proposed site plan	
<b>Drawn by:</b> M Hives	<b>Drawing Number:</b> 2178-2-700
<b>Date:</b> 14 May 2021	<b>Scale:</b> 1:200@A3
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PLOT 1 FRONT ELEVATION (NW) CAR PORT DRIVEWAY PLOT 3 PLOT 2



SIDE ELEVATION



REAR ELEVATION (SE) PLOT 3 DRIVEWAY

**Hives Associates**  
 CHARTERED SURVEYOR

Scales Dyke,  
 19 Main Street,  
 Lyddington,  
 Oakham,  
 Rutland, LE15 9LR  
 TEL OAKHAM 01572 823825  
 FAX 01572 823925  
 Mobile: 07768 694095

Client:  
**Mr & Mrs A Brown**

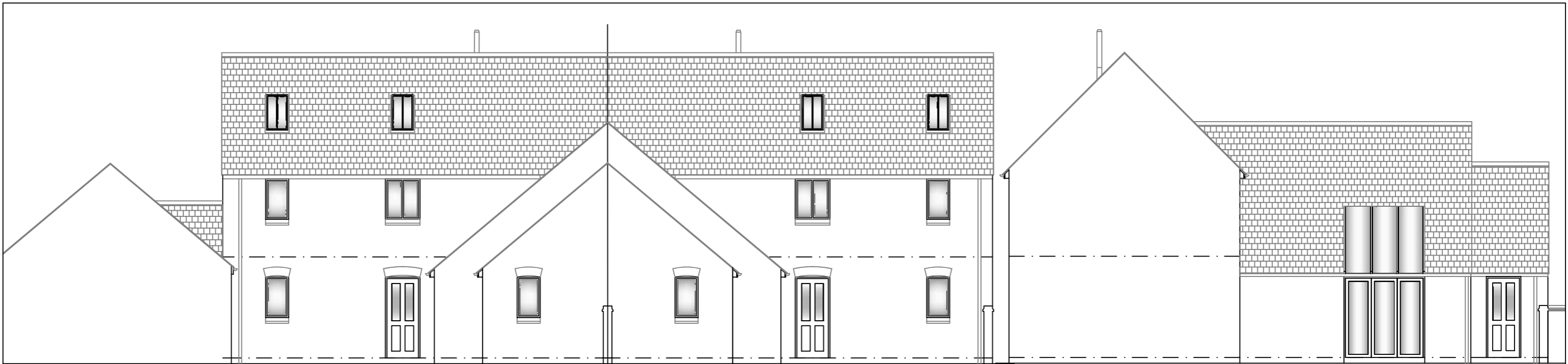
Project:  
**Barn Conversion  
 Fairchild Lodge  
 Caldicott**

Drawing title:  
**Proposed elevations**

Drawn by: M Hives	Drawing Number:
Date: 14 May 2021	2178-2-400
Scale: 1:100@A3	

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REAR ELEVATION  
(SW)

PLOT 1 PLOT 2

SIDE ELEVATION

PLOT 1



FRONT ELEVATION  
(NE)

PLOT 1

<p><b>Hives Associates</b> CHARTERED SURVEYOR</p> <p>Scales Dyke, 19 Main Street, Lyddington, Oakham, Rutland, LE15 9LR TEL OAKHAM 01572 823825 FAX 01572 823925 Mobile: 07768 694095</p>	
<p>Client: <b>Mr &amp; Mrs A Brown</b></p>	
<p>Project: <b>Barn Conversion Fairchild Lodge Caldicott</b></p>	
<p>Drawing title: <b>Proposed elevations 2</b></p>	
<p>Drawn by: <b>M Hives</b></p>	<p>Drawing Number: <b>2178-2-401</b></p>
<p>Date: <b>14 May 2021</b></p>	<p>Scale: <b>1:100@A3</b></p>
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